

**NOTES**

- All information shown on this plan is deemed accurate to the date shown. Landscape shown as conceptual only.
- Location of street furniture and shallow utilities subject to change. Quirks will not relocate conflicts.
- Bungalows and 2 storey require window wells.
- Surveyors - Building pocket supersedes marketing map.
- Retaining walls, if required, installed at purchaser's cost.
- A 2.7 metre utility right of way is located in front all lots.
- Design and connection to foundation drain/storm service to be in accordance with the City of Edmonton Foundation Drain Discharge Collect System Guideline, and is the responsibility of the home builder.
- Sump pump and roof leader connection to storm service required on all lots.
- A 1.5 metre zero lot line maintenance/drainage easement is located on lots 4-9 and 38-42 block 4 and lots 1-25 block 5.
- Private cross-lot drainage easement with restrictive covenant and banked metering easement required for lots 33-76 block 6.

**LEGEND**

- Street Light
- Transformer
- Fire Hydrant
- Utility Vault
- Power/Communication Cabinet
- Bus Stop
- Masonry Column
- Cross Lot Drainage Restrictive Covenant (RC)
- Banked Metering Easement
- 24 - Zero Lot Line Single Family Home with house width in feet
- 14/14/14 - Townhome with house width in feet
- G - Garage Location
- 1.5m Zero Lot Line Maintenance/Drainage Easement
- Noise Attenuation Fence
- Approximate Tree Locations are subject to change





**LEGEND**

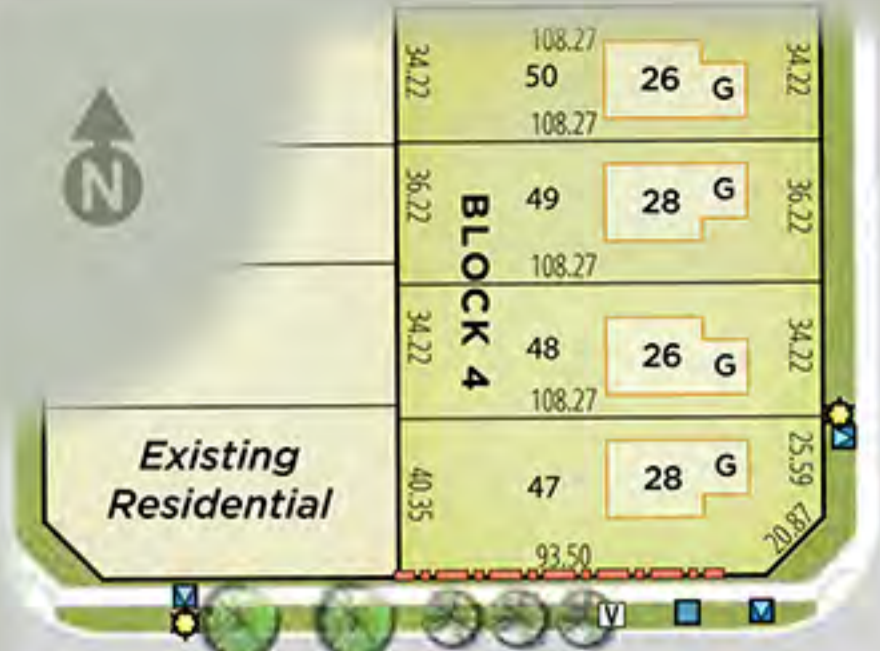
- Street light
- Transformer
- Fire hydrant
- Power/communication cabinet
- Bus stop
- Masonry column
- Storm service required (see note 8)
- Distributed soil (RC)
- 1.5 m zero lot line maintenance/drainage easement
- Garage location
- Zero lot line Single Family Home with house width in feet
- Duplex Style Home with house width in feet
- Noise attenuation fence
- Screen fence
- Drainage swale
- Approximate tree locations are subject to change

**NOTES:**

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2. Location of street furniture and shallow utilities subject to change. Qualico will not relocate conflicts.
3. Bungalows and 2 storey require window wells.
4. Surveyors - building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 2.7 metre utility right of way is located in front all lots.
7. Design and connection to foundation drain/storm service to be in accordance with the City of Edmonton Foundation Drain Discharge Collect System Guideline, and is the responsibility of the home builder.
8. Sump pump and roof leader connection to storm service required on lots 10-12, 33-37 and 51-84 block 4 and lots 26-50 block 5.
9. A 1.5 metre zero lot line maintenance/drainage easement is located on lots 10-11, 34-37, 52-54 and 84 block 4 and lots 26-49 block 5.

# the uplands AT RIVERVIEW

**PRELIMINARY PLAN**  
**Phase 5A**  
**Lot Information Plan**



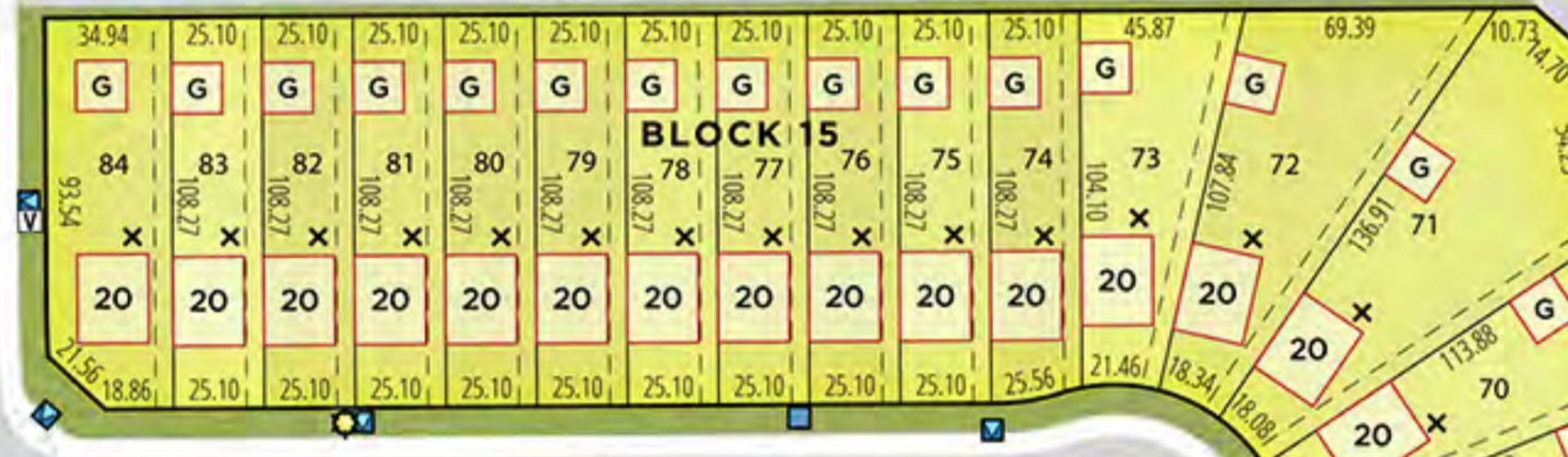
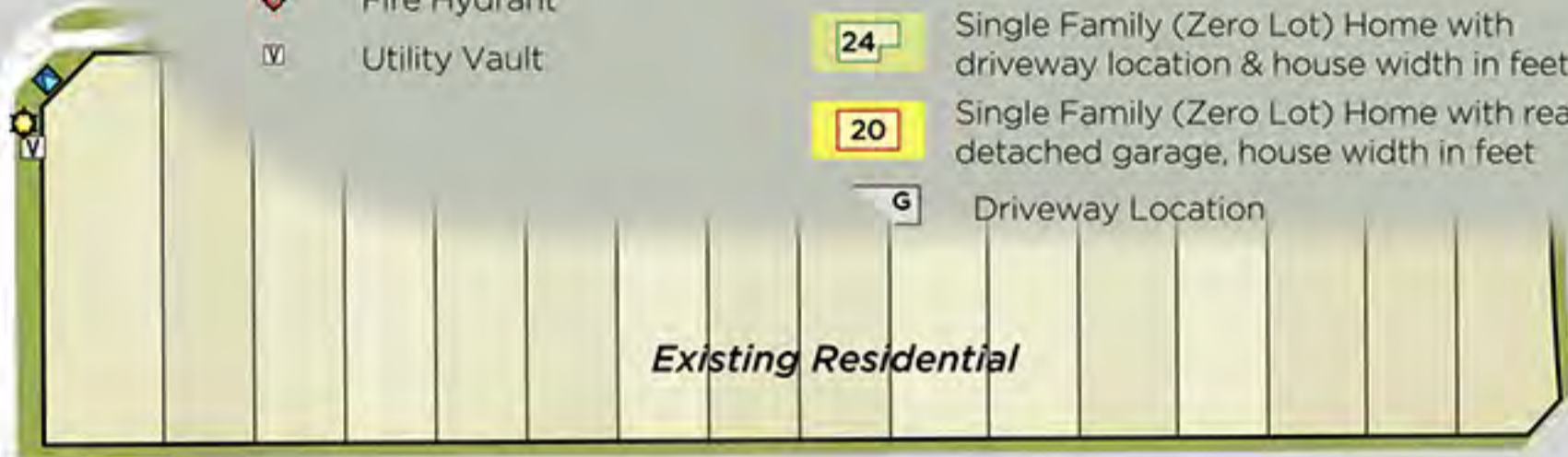
194 STREET

27 AVENUE



194 STREET

26A AVENUE



**LEGEND**

- ⊙ Light Standard
- ⊠ Transformer
- ⬢ Fire Hydrant
- ⊞ Utility Vault

- ⊠ Power/Communication Cabinet
- 24 Single Family Home with driveway location & house width in feet
- 24 Single Family (Zero Lot) Home with driveway location & house width in feet
- 20 Single Family (Zero Lot) Home with rear detached garage, house width in feet
- G Driveway Location

- ⊗ Storm Service Required (see note 8)
- Maintenance/Drainage Easement (see note 9)
- ⊗ Possible Disturbed Soil (RC)
- ⊠ Wood Screen Fence
- ⊠ Chain Link Fence
- ⊙ Approximate Tree Locations, subject to change

**NOTES:**

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2. Location of street furniture and shallow utilities subject to change. Qualico will not relocate conflicts.
3. Bungalows and 2 Storey require window wells.
4. Surveyors - Building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 2.7 metre Utility Right of Way is located in the front of all lots.
7. Design and connection to foundation drain/storm service to be in accordance with the City of Edmonton Foundation Drain Discharge Collect System Guideline, and is the responsibility of the home builder.
8. Sump pump and roof leader connection to storm service required on lots 63-84, block 15 and lots 1-12, block 16.
9. Zero lot private maintenance/drainage easement on lots 64-84, block 15 and lots 2-8 and 10-12, block 16.

**Preliminary Plan.** This is prepared as a conceptual plan only and all elements are subject to change without notification and should not be relied upon. Please refer to the registered subdivision plan and approved engineering drawings to confirm all information. Dimensions are in feet and rounded.

21 NOVEMBER 2019

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### LEGEND

- Light Standard
- Transformer
- Fire Hydrant
- Utility Vault
- Power/Communication Cabinet
- Bus Stop Location
- Storm Service Required (see note 8)
- Banked Metering Easement (see note 10)
- Cross Lot Drainage (RC)

- Single Family (Zero Lot) Home with rear detached garage, house width in feet
- Townhome with house width in feet
- Driveway Location
- Maintenance/Drainage Easement (see note 9)
- Possible Disturbed Soil (RC)
- Wood Screen Fence
- Approximate Tree Locations, subject to change

### NOTES:

1. All information shown on this plan is deemed accurate to the date shown. Landscape shown as conceptual only.
2. Location of street furniture and shallow utilities subject to change. Qualico will not relocate conflicts.
3. Bungalows and 2 Storey require window wells.
4. Surveyors - Building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 2.7 metre Utility Right of Way is located in the front of all lots.
7. Design and connection to foundation drain/storm service to be in accordance with the City of Edmonton Foundation Drain Discharge Collect System Guideline, and is the responsibility of the home builder.
8. Sump pump and roof leader connection to storm service required on lots 1-30, block 14 and lots 1-30, block 15.
9. Zero lot private maintenance/drainage easement on lots 1-15 and 17-29, block 15.
10. Gas and power easements registered as: instrument 192 259 384 and 192 259 369 on lots 1-30, block 14.

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NOTES:

1. All information shown on this plan is deemed accurate to the date shown. Landscape shown as conceptual only.
2. Location of street furniture and shallow utilities subject to change. Qualico will not relocate conflicts.
3. Bungalows and 2 storey require window wells.
4. Surveyors - building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 2.7 metre utility right of way is located in front all lots.
7. Design and connection to foundation drain/storm service to be in accordance with the City of Edmonton Foundation Drain Discharge Collect System Guideline, and is the responsibility of the home builder.
8. Sump pump and roof leader connection to storm service required on lots 31-62 block 15, lots 13-25 block 16 and lots 1-27 block 17.
9. A 1.5 metre zero lot line maintenance/drainage easement is located on lots 13-25 block 16 and lots 2-27 block 17.
10. Gas, power and cross lot drainage easements registered on lots 31-62, block 15.

20 JUNE 2022

**Preliminary Plan.** This is prepared as a conceptual plan only and all elements are **subject to change** without notification and should not be relied upon. Please refer to the registered subdivision plan and approved engineering drawings to confirm all information. Dimensions are in feet and rounded.



- 26** Single Family Home with driveway location & house width in feet
- 24** Zero lot line Single Family Home with house width in feet
- 20/20/20** Townhome with house width in feet
- Approximate tree locations are subject to change

LEGEND

- Street light
- Transformer
- Fire hydrant
- Power/communication cabinet
- Bus stop
- Garage location
- Noise attenuation fence
- Screen fence
- Drainage swale
- Entrance feature (RC)
- Storm service required (see note 8)
- Distributed soil (RC)
- 1.5 m zero lot line maintenance/drainage easement
- Banked Metering Easement (see note 10)

# the uplands AT RIVERVIEW

PRELIMINARY PLAN

## Phase 6 Lot Information Plan



- ### LEGEND
- Transformer
  - Street light
  - Fire hydrant
  - Masonry column
  - Power/communication cabinet
  - Storm service required (see note 8)
  - Restrictive covenant (RC)
  - Distributed soil (RC)
  - 1.5 m zero lot line maintenance/drainage easement
  - 28' Single Family Home with house width in feet
  - 20' Zero Lot Line Single Family Home with Rear Detached garage, house width in feet
  - Garage location
  - Walkout/partial walkout lot potential
  - Approximate tree locations are subject to change
  - Gate
  - Drainage swale
  - Screen fence
  - Chain link fence
  - Utility vault
  - Flush point
  - Bus stop

- ### NOTES:
1. All information shown on this plan is deemed accurate to the date shown. Landscape shown as conceptual only.
  2. Location of street furniture and shallow utilities subject to change. Qualico will not relocate conflicts.
  3. Bungalows and 2 Storey require window wells.
  4. Surveyors - Building pocket supersedes marketing map.
  5. Retaining walls, if required, installed at purchaser's cost.
  6. A 2.7 metre Utility Right of Way is located in the front of all lots.
  7. Design and connection to foundation drain/storm service to be in accordance with the City of Edmonton Foundation Drain Discharge Collect System Guideline, and is the responsibility of the home builder.
  8. Sump pump and roof leader connection to storm service required on lots 75-85 block 1, lots 2-24 and 36-45, block 10 and lots 1-9, block 19.
  9. Zero lot private maintenance/drainage easement on lots 36-45, block 10 and lots 1-9, block 19.

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12 September 2022

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Preliminary Plan. This is prepared as a conceptual plan only and all elements are subject to change without notification and should not be relied upon. Please refer to the registered subdivision plan and approved engineering drawings to confirm all information. Dimensions are in feet and rounded.

# Phase 8 Lot Information Plan



### LEGEND

- Street light
- Transformer
- Power/communication cabinet
- Utility vault
- Fire hydrant
- Storm service required (see note 8)
- Freeboard restrictive covenant (RC)
- Ravine setback (RC)
- Pressure reduction valve (RC)
- 28 Single Family Home with house width in feet
- 20 Zero lot line Single Family Home with rear detached garage, house width in feet
- G Garage location
- W/PW Walkout/partial walkout lot potential
- Approximate tree locations are subject to change
- Gate
- Drainage swale
- Screen fence
- Chain link fence

### NOTES:

1. All information shown on this plan is deemed accurate to the date shown. Landscape shown as conceptual only.
2. Location of street furniture and shallow utilities subject to change. Qualico will not relocate conflicts.
3. Bungalows and 2 Storey require window wells.
4. Surveyors - Building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 2.7 metre Utility Right of Way is located in the front of all lots.
7. Design and connection to foundation drain/storm service to be in accordance with the City of Edmonton Foundation Drain Discharge Collect System Guideline, and is the responsibility of the home builder.
8. Sump pump and roof leader connection to storm service required on lots 99 - 115, block 1; lot 10, block 19 and lots 2 - 17, block 21.

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**Preliminary Plan.** This is prepared as a conceptual plan only and all elements are subject to change without notification and should not be relied upon. Please refer to the registered subdivision plan and approved engineering drawings to confirm all information. Dimensions are in feet and rounded.

2 February 2022

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### LEGEND

-  Street light
-  Transformer
-  Power/communication cabinet
-  Fire hydrant
-  Storm service required (see note 8)
-  Freeboard restrictive covenant (RC)
-  Ravine setback (RC)
-  Pressure reduction valve (RC)
-  28 Single Family Home with house width in feet
-  G Garage location
-  W/PW Walkout/partial walkout lot potential
-  Approximate tree locations are subject to change
-  Gate
-  Drainage swale
-  Screen fence
-  Chain link fence



**Preliminary Plan.** This is prepared as a conceptual plan only and all elements are subject to change without notification and should not be relied upon. Please refer to the registered subdivision plan and approved engineering drawings to confirm all information. Dimensions are in feet and rounded.

### NOTES:

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3. Bungalows and 2 Storey require window wells.
4. Surveyors - Building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 2.7 metre Utility Right of Way is located in the front of all lots.
7. Design and connection to foundation drain/storm service to be in accordance with the City of Edmonton Foundation Drain Discharge Collect System Guideline, and is the responsibility of the home builder.
8. Sump pump and roof leader connection to storm service required on lots 116 - 126, block 1 and lots 18 - 30, block 21.

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2 February 2022



PRELIMINARY PLAN

## Phase 10B Lot Information Plan



### LEGEND

- Street light
- Transformer
- Power/communication cabinet
- Utility vault
- Fire hydrant
- Bus stop
- Storm service required (see note 8)
- Freeboard restrictive covenant (RC)
- Ravine setback (RC)
- Pressure reduction valve (RC)
- 1.5 m zero lot line maintenance/drainage easement
- 28 Single Family Home with house width in feet
- 24 Single Family (Zero Lot) Home with house width in feet
- 20 Zero lot line Single Family Home with rear detached garage, house width in feet
- Garage location
- Walkout/partial walkout lot potential
- Approximate tree locations are subject to change
- Gate
- Drainage swale
- Screen fence
- Chain link fence

### NOTES:

1. All information shown on this plan is deemed accurate to the date shown. Landscape shown as conceptual only.
2. Location of street furniture and shallow utilities subject to change. Qualico will not relocate conflicts.
3. Bungalows and 2 Storey require window wells.
4. Surveyors - Building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 2.7 metre Utility Right of Way is located in the front of all lots.
7. Design and connection to foundation drain/storm service to be in accordance with the City of Edmonton Foundation Drain Discharge Collect System Guideline, and is the responsibility of the home builder.
8. Sump pump and roof leader connection to storm service required on lots 127 - 138, block 1; lots 31 - 48, block 21; lots 36 - 39, block 22 and lots 8 - 17, block 23.
9. Zero lot private maintenance/drainage easement on lots 36 - 39, block 22 and lots 8 - 17, block 23.

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**LEGEND**

- Street light
- Transformer
- Power/communication cabinet
- Utility vault
- Fire hydrant
- Storm service required (see note 8)
- Fence and berm restrictive covenant (RC)
- Disturbed soil (RC)
- 1.5 m zero lot line maintenance/drainage easement

- 28 Single Family Home with garage location and house width in feet
- 24 Single Family (Zero Lot Line) Home with garage location and house width in feet

- 20/20 Duplex Style Home with garage location and house width in feet
- G Garage location

- Approximate tree locations are subject to change
- Drainage swale
- Screen fence
- Noise Attenuation fence (RC)

**NOTES:**

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2. Location of street furniture and shallow utilities subject to change. Qualico will not relocate conflicts.
3. Bungalows and 2 Storey require window wells.
4. Surveyors - Building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 2.7 metre Utility Right of Way is located in the front of all lots.
7. Design and connection to foundation drain/storm service to be in accordance with the City of Edmonton Foundation Drain Discharge Collect System Guideline, and is the responsibility of the home builder.
8. Sump pump and roof leader connection to storm service required on lots 12 - 19 and 32 - 42 block 19.
9. A 1.5 metre zero lot line maintenance/drainage easement is located on lots 13 - 19 and lots 37 - 42, block 19.

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**LEGEND**

- ◊ Street light
- ◻ Transformer
- ◆ Fire hydrant
- ◻ Power/communication cabinet
- ◻ Utility vault
- ✕ Storm service required (see note 8)
- \* Fence and berm restrictive covenant (RC)
- ⊗ Distributed soil (RC)
- ▽ Pressure reduction valve (RC)
- ⚡ 1.5 m zero lot line maintenance/drainage easement
- 24 Zero lot line Single Family Home with garage location and house width in feet
- 20 Zero Lot Line Single Family Home with Rear Detached garage, house width in feet
- G Garage location
- Noise attenuation fence
- Screen fence
- Drainage swale
- 🌳 Approximate tree locations are subject to change

**NOTES:**

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2. Location of street furniture and shallow utilities subject to change. Qualico will not relocate conflicts.
3. Bungalows and 2 storey require window wells.
4. Surveyors - building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 2.7 metre utility right of way is located in front all lots.
7. Design and connection to foundation drain/storm service to be in accordance with the City of Edmonton Foundation Drain Discharge Collect System Guideline, and is the responsibility of the home builder.
8. Sump pump and roof leader connection to storm service required on all lots.
9. A 1.5 metre zero lot line maintenance/drainage easement is located on lots 5 - 7 and 9 - 35 block 22 and lots 18 - 33 block 23.



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15 DECEMBER 2022

MASKĒKOSIHK TRAIL

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- NOTES:**
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  - Location of street furniture and shallow utilities subject to change. Qualico will not relocate conflicts.
  - Bungalows and 2 storey require window wells.
  - Surveyors - building pocket supersedes marketing map.
  - Retaining walls, if required, installed at purchaser's cost.
  - A 2.7 metre utility right of way is located in front all lots.
  - Design and connection to foundation drain/storm service to be in accordance with the City of Edmonton Foundation Drain Discharge Collect System Guideline, and is the responsibility of the home builder.
  - Sump pump and roof leader connection to storm service required on lots 109 - 147 block 4 and lots 31 - 56 block 14.
  - A 1.5 metre zero lot line maintenance/drainage easement is located on lots 96 - 123 block 4 and lots 32 - 55 block 14.
  - Footing elevation (684.83m) and water service depth (684.08m) restrictive covenant (RC) on lots 85 - 147 block 4 and lots 31 - 56 block 14.
  - Gas, power and cross lot drainage easements and RC registered on lots 124 - 147 block 4.

**6 FEBRUARY 2023**  
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**LEGEND**

- Street light
- Transformer
- Fire hydrant
- Power/communication cabinet
- Utility vault
- Bus stop

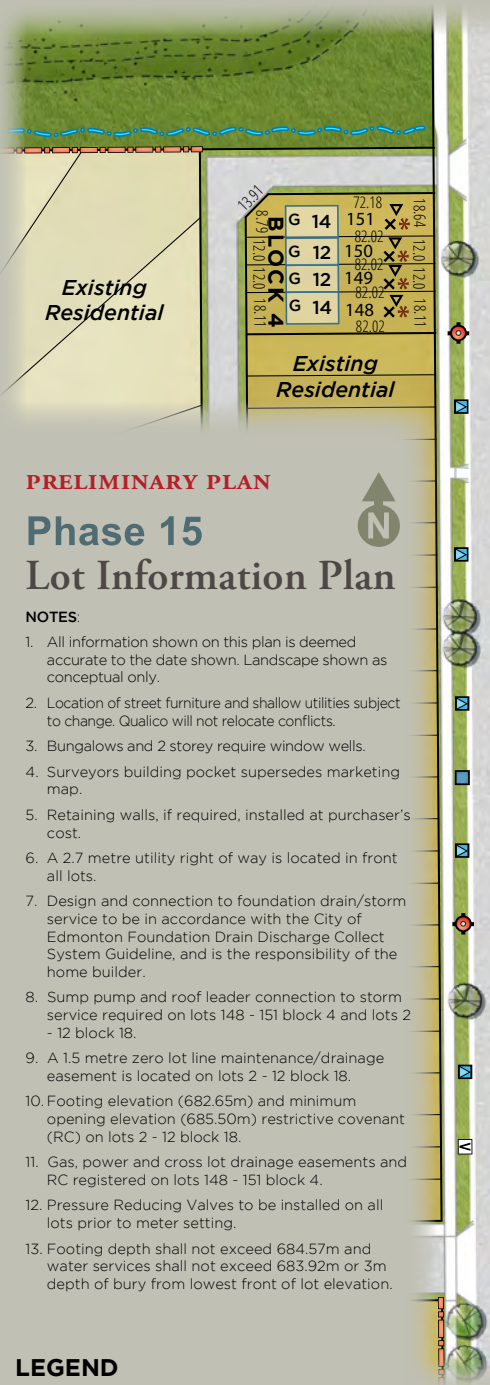
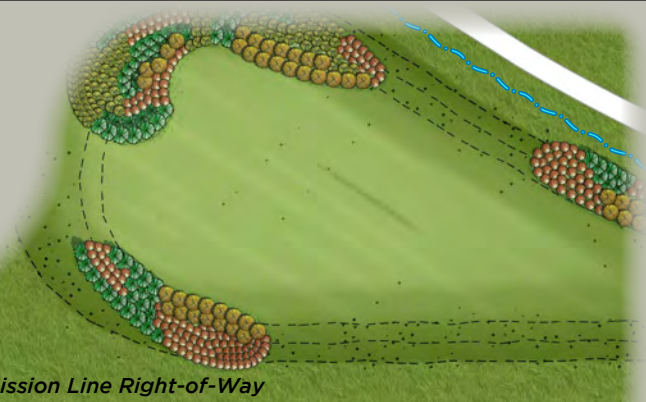
- Single Family Home with garage location & house width in feet
- Zero lot line Single Family Home with garage location & house width in feet
- Zero Lot Line Single Family Home with Rear Detached garage, house width in feet
- Townhome with house width in feet

- Storm service required (see note 8)
- Distributed soil (RC)
- 1.5 m zero lot line maintenance/drainage easement
- Banked Metering Easement (see note 11)

- Garage location
- Pressure reduction valve (RC)
- Screen fence
- Swale
- Approximate tree locations are subject to change

# the uplands

## AT RIVERVIEW



**PRELIMINARY PLAN**

### Phase 15 Lot Information Plan



**NOTES:**

1. All information shown on this plan is deemed accurate to the date shown. Landscape shown as conceptual only.
2. Location of street furniture and shallow utilities subject to change. Qualico will not relocate conflicts.
3. Bungalows and 2 storey require window wells.
4. Surveyors building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 2.7 metre utility right of way is located in front all lots.
7. Design and connection to foundation drain/storm service to be in accordance with the City of Edmonton Foundation Drain Discharge Collect System Guideline, and is the responsibility of the home builder.
8. Sump pump and roof leader connection to storm service required on lots 148 - 151 block 4 and lots 2 - 12 block 18.
9. A 1.5 metre zero lot line maintenance/drainage easement is located on lots 2 - 12 block 18.
10. Footing elevation (682.65m) and minimum opening elevation (685.50m) restrictive covenant (RC) on lots 2 - 12 block 18.
11. Gas, power and cross lot drainage easements and RC registered on lots 148 - 151 block 4.
12. Pressure Reducing Valves to be installed on all lots prior to meter setting.
13. Footing depth shall not exceed 684.57m and water services shall not exceed 683.92m or 3m depth of bury from lowest front of lot elevation.

**LEGEND**

- Street light
- Transformer
- Fire hydrant
- Power/communication cabinet
- Utility vault
- Bus stop
- Screen fence
- Chain link fence
- Swale
- Approximate tree locations are subject to change
- Storm service required (see note 8)
- Pressure Reducing Valve Restrictive Covenant (RC)
- Freeboard RC (see note 10)
- Banked Metering Easement (see note 11)
- 1.5 m zero lot line maintenance/drainage easement
- Zero lot line Single Family Home with garage location & house width in feet
- Duplex Style Home with house width in feet
- Townhome with house width in feet
- Garage location

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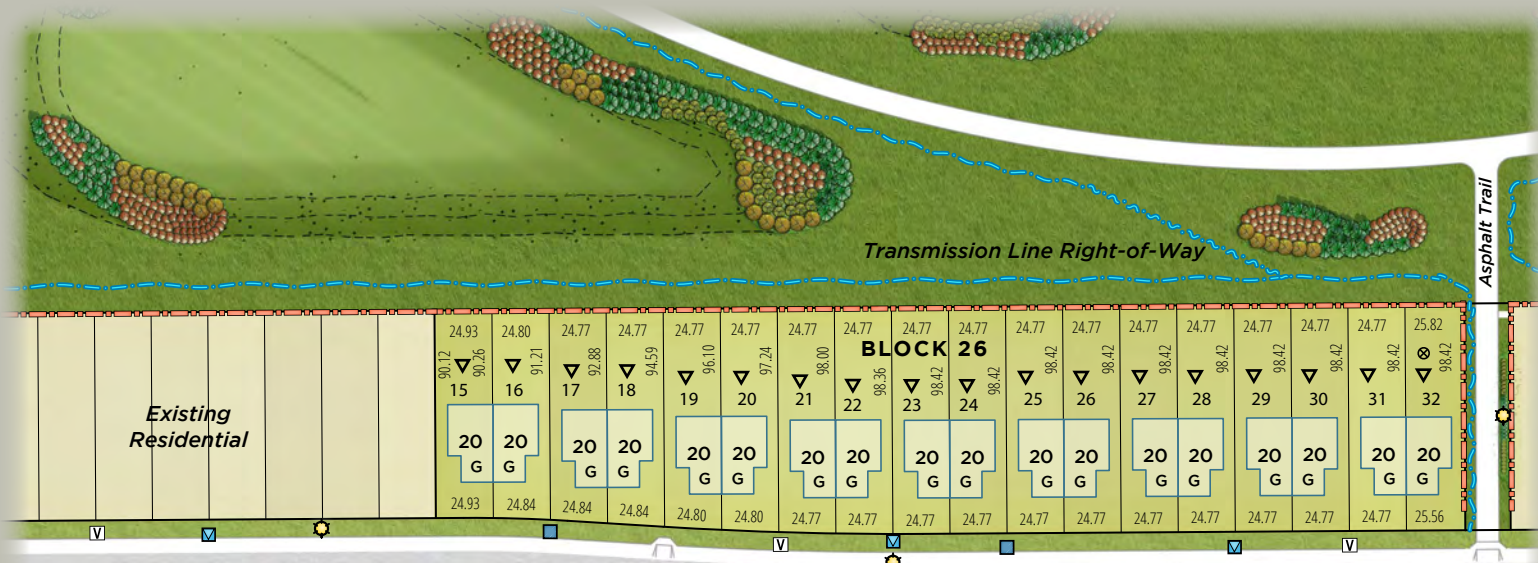
**Preliminary Plan.** This is prepared as a conceptual plan only and all elements are subject to change without notification and should not be relied upon. Please refer to the registered subdivision plan and approved engineering drawings to confirm all information. Dimensions are in feet and rounded. **16 FEBRUARY 2024**

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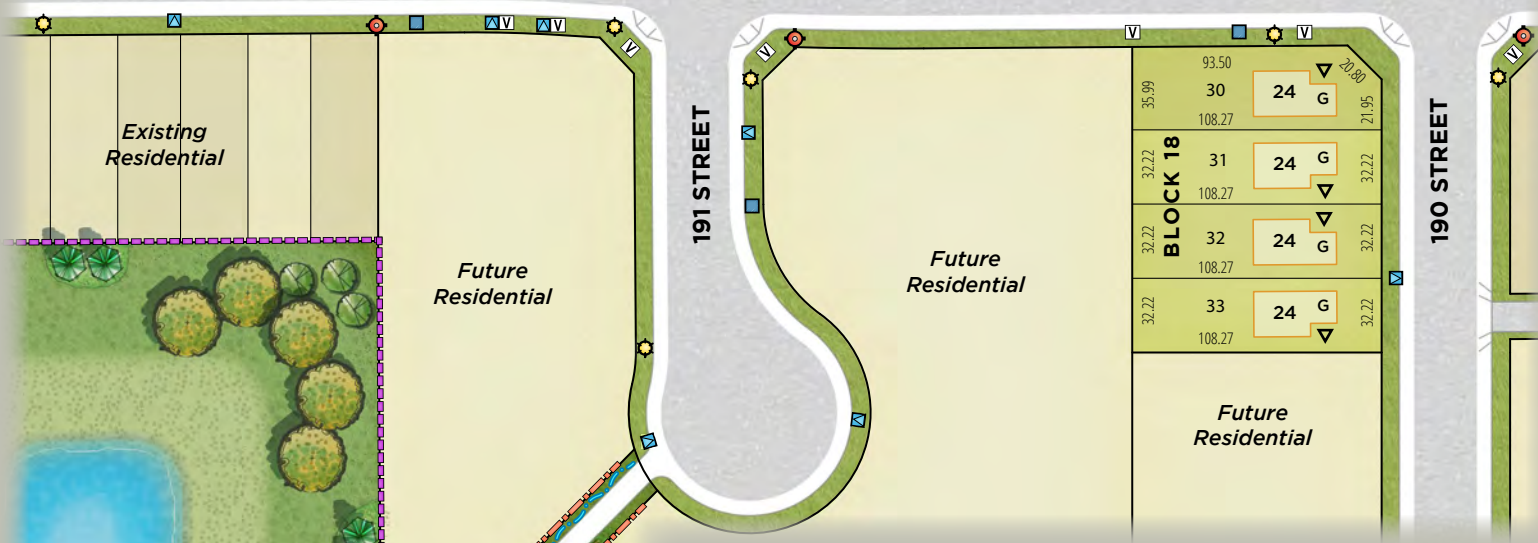
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PRELIMINARY PLAN

## Phase 17A Lot Information Plan



29 AVENUE



**NOTES:**

1. All information shown on this plan is deemed accurate to the date shown. Landscape shown as conceptual only.
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3. Bungalows and 2 storey require window wells.
4. Surveyors building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 2.7 metre utility right of way is located in front all lots.
7. Design and connection to foundation drain/storm service to be in accordance with the City of Edmonton Foundation Drain Discharge Collect System Guideline, and is the responsibility of the home builder.
8. Pressure Reducing Valves to be installed on all lots prior to meter setting.
9. Disturbed Soil Restrictive Covenant on lot 32 block 26, geotechnical evaluation required.
10. Footing depth shall not exceed 683.78m and water services shall not exceed 683.03m or 3m depth of bury from lowest front of lot elevation.

16 FEBRUARY 2024

**Preliminary Plan.** This is prepared as a conceptual plan only and all elements are **subject to change** without notification and should not be relied upon. Please refer to the registered subdivision plan and approved engineering drawings to confirm all information. Dimensions are in feet and rounded.

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**LEGEND**

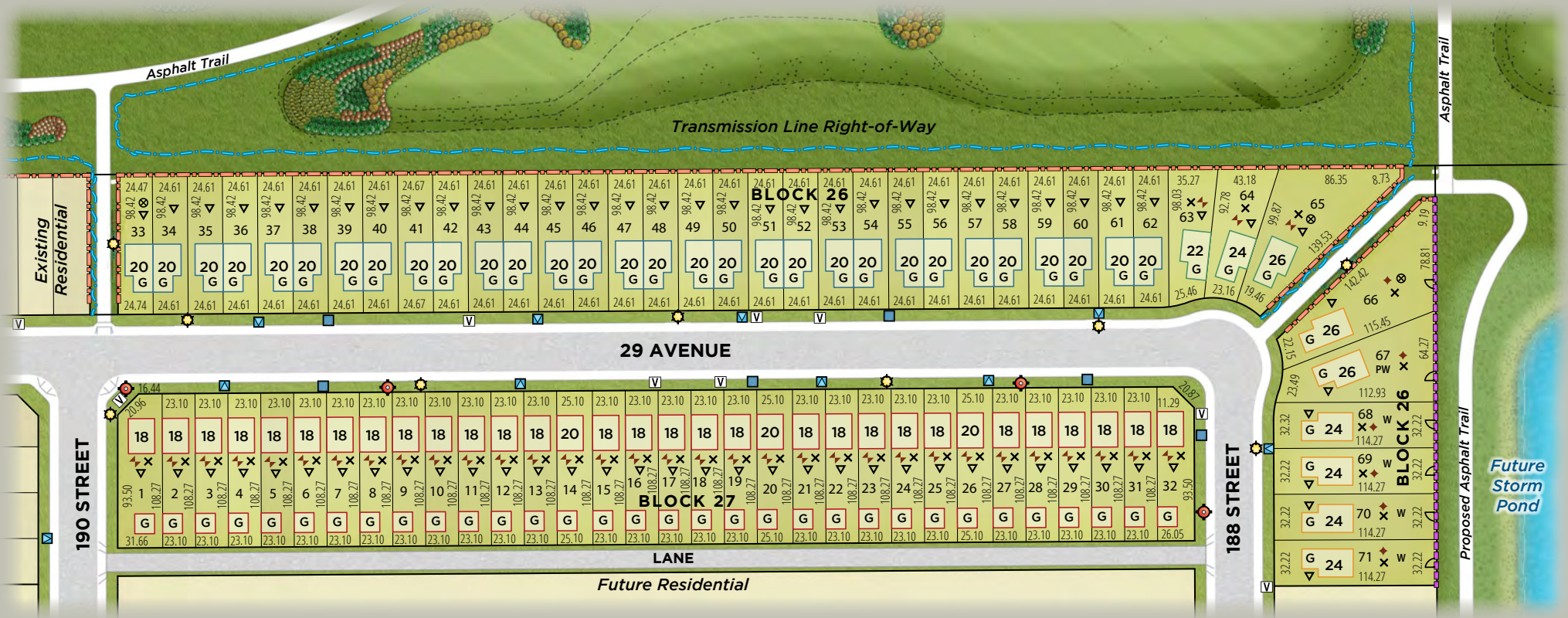
- Street light
- Transformer
- Fire hydrant
- Power/communication cabinet
- Utility vault
- Garage location
- Screen fence
- Chain link fence
- Drainage swale

- 26 Single Family Home with garage location & house width in feet
- 20/20 Duplex Style Home with house width in feet
- Pressure Reducing Valve Restrictive Covenant (RC)
- Disturbed soil (RC)
- Approximate tree locations are subject to change

Storm Pond

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### LEGEND

- Street light
- Transformer
- Fire hydrant
- Power/communication cabinet
- Utility vault
- Garage location
- Gate
- Screen fence
- Chain link fence
- Drainage swale
- Freeboard Restrictive Covenant (RC) (see note 10)
- Disturbed soil (RC)

- 26 Single Family Home with garage location & house width in feet
- 24 Zero lot line Single Family Home with garage location & house width in feet
- 20 Zero Lot Line Single Family Home with Rear Detached garage, house width in feet
- 20/20 Duplex Style Home with house width in feet
- W / PW Walkout/partial walkout lot potential
- X Storm service required (see note 8)
- V Pressure Reducing Valve (RC)
- 1.5 m zero lot line maintenance/drainage easement
- Approximate tree locations are subject to change

### NOTES

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3. Bungalows and 2 storey require window wells.
4. Surveyors - building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 2.7 metre utility right of way is located in front all lots.
7. Design and connection to foundation drain/storm service to be in accordance with the City of Edmonton Foundation Drain Discharge Collect System Guideline, and is the responsibility of the home builder.
8. Sump pump and roof leader connection to storm service required on lots 1 - 32 block 27 and lots 63 - 71 block 26.
9. A 1.5 metre zero lot line maintenance/drainage easement is located on lots 64 - 65 block 26 and lots 1 - 32 block 27.
10. Minimum footing elevation (679.65m) and building opening elevation (682.98m) restrictive covenant (RC) on lots 66 - 71 block 26.
11. Pressure Reducing Valves to be installed on all lots prior to meter setting.
12. Disturbed Soil Restrictive Covenant on lots 33, 65 and 66 block 26, geotechnical evaluation required.

### 7 MARCH 2024

**Preliminary Plan.** This is prepared as a conceptual plan only and all elements are **subject to change** without notification and should not be relied upon. Please refer to the registered subdivision plan and approved engineering drawings to confirm all information. Dimensions are in feet and rounded.

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